

FOREST EDGE CLUSTER ASSOCIATION

DESIGN STANDARDS

JUNE 2023



Cluster information

Architectural Style: Contemporary Townhouse

Streets: Forest Edge Drive, Greenmont Court

Builder: C. William Stephanski

Date of Construction: 1967

Sister Clusters: N/A

Section: 9 Block: 1 Lots: 1-65, 1-42

Website: <http://www.forestedgecluster.com>

Board of Directors: boardmembers@forestedgecluster.com

DRB application form: Click [here](#)

Covenants Advisor: [Cat Castrence](#)

Color Palette

No application is required to repaint an existing color.

No application is required to substitute or to change paint colors of siding and trim from existing colors to new colors in accordance with the following approved color palette packages, so long as new color is not the same as the adjacent home(s). However, homeowner shall contact and report color change or substitution to RA representative for Forest Edge Cluster at 703-435-6530. This notification will update RA records and will protect the homeowner from any future citations.

Application for DRB panel or consultation is required for proposed colors NOT included in the approved color palette packages. Application must include the signature of one elected cluster board member holding the office of President, Vice President, Secretary, or Treasurer. Select a color from the DRB approved color palette. Approved colors are listed by color name and code.

Colors for siding at two adjacent houses shall NOT be painted the same color.

Examples of colors are provided at the end of this section.

EXTERIOR PAINT COLOR PACKAGES:

Color Package #1:

Siding: Sherwin-Williams Pier 7545 Flat (Replaces Duron “Pinion Green 8176N Flat”)

Optional trim colors for Package #1:

- 1) Sherwin-Williams Svelte Sage 6164 Semi-gloss or Gloss (Replaces Duron “Fenland 8174M Semi-gloss or Gloss”)
- 2) Sherwin-Williams Meadow Trail 7737 Semi-gloss or Gloss (Replaces Duron “Wild Grasses 8175D Semi-gloss or Gloss”)
- 3) White Semi-gloss or Gloss

Color Package #2:

Siding: Sherwin-Williams Svelte Sage 6164 Flat (Replaces Duron “Fenland 8174M Flat”)

Optional trim colors for Package #2:

- 1) Sherwin-Williams Meadow Trail 7737 Semi-gloss or Gloss (Replaces Duron “Wild Grasses 8175D Semi-gloss or Gloss”)
- 2) Sherwin-Williams Cargo Pants 7738 Semi-gloss or Gloss (Replaces Duron “Shire Fields 8172W Semi-gloss or Gloss”)
- 3) White Semi-gloss or Gloss

Color Package #3:

Siding: Sherwin-Williams Umber Rust 9100 Flat (Replaces Duron “Burntside 8286N Flat”)

Trim: White Semi-gloss or Gloss

Color Package #4:

Siding: Sherwin-Williams Nutshell 6040 Flat (Replaces Duron "Cultivated Fields 8815D Flat")

Optional trim colors for Package #4:

- 1) Sherwin-Williams Requisite Gray 7023 Semi-gloss or Gloss (Replaces Duron "Stone Cistern 8813W Semi-gloss or Gloss")
- 2) Sherwin-Williams Polished Concrete 9167 Semi-gloss or Gloss (Replaces Duron "Brindell 8814M Semi-gloss or Gloss")
- 3) White Semi-gloss or Gloss

Color Package #5:

Siding: Sherwin-Williams Requisite Gray 7023 Flat (Replaces Duron "Stone Cistern 8813W Flat")

Optional trim colors for Package #5:

- 1) Sherwin-Williams Polished Concrete 9167 Semi-gloss or Gloss (Replaces Duron "Brindell 8814M Semi-gloss or Gloss")
- 2) Sherwin-Williams Eider White 7014 Semi-gloss or Gloss (Replaces Duron "Silver Seed 8810W Semi-gloss or Gloss")
- 3) White Semi-gloss or Gloss

Color Package #6:

Siding: Sherwin-Williams Cargo Pants 7738 Flat (Replaces Duron "Shire Fields 8172W Flat")

Optional trim colors for Package #6:

- 1) Sherwin-Williams Nacre 6154 Semi-gloss or Gloss (Replaces Duron "Owl Wing 8170W Semi-gloss or Gloss")
- 2) White Semi-gloss or Gloss

Color Package #7:

Siding: Sherwin-Williams Honey Blush 6660 Flat (Replaces Duron "Chamois 4502M Flat")

Optional trim colors for Package #7:

- 1) Sherwin-Williams Russet Brown 3045 Semi-gloss or Gloss (Replaces Duron Solid Stain "Russet Brown SW3045 Semi-gloss or Gloss")
- 2) White Semi-gloss or Gloss

Color Package #8:

Siding: Sherwin-Williams Mountain Road 7743 Flat (Replaces Duron "Sagebrush 5394D Flat")

Optional trim colors for Package #8:

- 1) Sherwin-Williams Urban Putty 7532 Semi-gloss or Gloss (Replaces Duron "Homestead White Semi-gloss or Gloss")
- 2) White Semi-gloss or Gloss

Color Package #9:

Siding: Sherwin-Williams Russet Brown 3045 Flat (Replaces Duron Solid Stain “Russet Brown SW3045 Flat”)

Optional trim colors for Package #9

- 1) Sherwin-Williams Honey Blush 6660 Semi-gloss or Gloss (Replaces Duron “Chamois 4502M Semi-gloss or Gloss”)
- 2) White Semi-gloss or Gloss

Color Package #10:

Siding: Sherwin-Williams Muddled Basil 7745 Flat (Replaces Duron “Black Walnut 5385N Flat”)

Optional trim colors for Package #10:

- 1) Sherwin-Williams Urban Putty 7532 Semi-gloss or Gloss (Replaces Duron “Homestead White Semi-gloss or Gloss”)
- 2) White Semi-gloss or Gloss

Color Package #11:

Siding: Sherwin-Williams Cedar 3034 Flat (Replaces Duron Solid Stain “Cedar SW3034 Flat”)

Optional trim colors for Package #11:

- 1) Sherwin-Williams Honey Blush 6660 Semi-gloss or Gloss (Replaces Duron “Chamois 4502M Semi-gloss or Gloss”)
- 2) Sherwin-Williams Russet Brown 3045 Semi-gloss or Gloss (Replaces Duron Solid Stain “Russet Brown SW3045 Semi-gloss or Gloss”)
- 3) White Semi-gloss or Gloss

Color Package #12:

Siding: Sherwin-Williams Rookwood Red 2802 Flat (Replaces Duron “Farmhouse Red Flat” (“Curb Appeal” Palette))

Optional trim colors for Package #12:

- 1) Sherwin-Williams Urban Putty 7532 Semi-gloss or Gloss (Replaces Duron “Homestead White Semi-gloss or Gloss”)
- 2) White Semi-gloss or Gloss

Color Package #13:

Siding: Sherwin-Williams Mount Etna 7625 Flat (Replaces Duron “Carolina Slate Flat” (“Curb Appeal” Palette))

Optional trim colors for Package #13:

- 1) Sherwin-Williams Urban Putty 7532 Semi-gloss or Gloss (Replaces Duron “Homestead White Semi-gloss or Gloss”)
- 2) White Semi-gloss or Gloss

Color Package #14:

Siding: James Hardie vertical siding Light Mist cedarmill finish
Trim: White Semi-gloss or Gloss

Color Package #15:

Siding: James Hardie vertical siding Boothbay Blue cedarmill finish

Trim: White Semi-gloss or Gloss

Color Package #16:

Siding: James Hardie vertical siding Navajo Beige cedarmill finish (Replaces Heathered Moss)

Trim: White Semi-gloss or Gloss

Color Package #17:

Siding: James Hardie vertical siding Monterey Taupe cedarmill finish

Optional trim colors for Package #17:

1) James Hardie “Cobblestone”

2) White Semi-gloss or Gloss

Color Package #18:

Siding: James Hardie vertical siding Timber Bark cedarmill finish

Trim: White Semi-gloss or Gloss

Color Package #19:

Siding: James Hardie vertical siding Evening Blue cedarmill finish

Trim: White Semi-gloss or Gloss

Color Package #20:

Siding: Olympic Stonehedge stain

Trim: Olympic Cape Cod Gray stain

CAP FLASHINGS

Cap flashings cover the top of firewalls separating the roof of townhouses. Cap flashings must be painted Sherwin-Williams Honey Blush 6660 Flat (Replaces Duron “Chamois 4502M Flat”).

PARTY WALL FLASHINGS

A party wall flashing is the dark color flashing on top of the brick wall between some houses. Party wall flashings must be painted Sherwin-Williams Black Fox 7020 Flat (Replaces Duron “Blacksmith 8776N Flat”).

OLDER EXTERIOR COLOR STAIN PACKAGES

The following color stains packages were approved under previous FECA design standards and are included here for reference only. Homes that are repainted or updated must use the standards from the current color palette.

Former Option 9: Olympic solid stain Cedar for siding with Capilano Bridge or Russet for trim

Former Option 10: Olympic solid stain Russet for siding with Chamois trim

Former Option 12: Olympic solid stain Chamois for siding with Russet trim

Former Option 13: Cabot solid stain Red Cedar with White trim

Former Option 14: Cabot solid stain Sagebrush Grey with Tan trim

Former Option 15: Natural finish (no color)

Current Sherwin-Williams exterior paint color examples

Due to screen and print limitations, colors seen here may not accurately reflect painted colors. To confirm your color choices, visit your neighborhood Sherwin-Williams store. The store located at 495A Elden Street in Herndon has our color palette on file.



Description:
Resilience®
Exterior Acrylic
Latex Flat Extra
White

Color:
7545 - Pier



Description:
Resilience®
Exterior Acrylic
Latex Gloss Extra
White

Color:
6164 - Svelte Sage



Description:
Resilience®
Exterior Acrylic
Latex Gloss Extra
White

Color:
7737 - Meadow
Trail



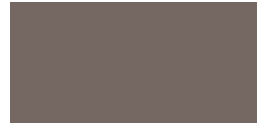
Description:
Resilience®
Exterior Acrylic
Latex Gloss Extra
White

Color:
7738 - Cargo
Pants



Description:
Resilience®
Exterior Acrylic
Latex Flat Extra
White

Color:
9100 - Umber Rust



Description:
Resilience®
Exterior Acrylic
Latex Flat Extra
White

Color:
6040 - Nutshell



Description:
Resilience®
Exterior Acrylic
Latex Gloss Extra
White

Color:
7023 - Requisite
Gray



Description:
Resilience®
Exterior Acrylic
Latex Gloss Extra
White

Color:
9167 - Polished
Concrete



Description:
Resilience®
Exterior Acrylic
Latex Gloss Extra
White

Color:
7014 - Eider White



Description:
Resilience®
Exterior Acrylic
Latex Gloss Extra
White

Color:
6154 - Nacre



Description:
Resilience®
Exterior Acrylic
Latex Flat Extra
White

Color:
6660 - Honey
Blush



Description:
Resilience®
Exterior Acrylic
Latex Gloss Extra
White

Color:
3045 - Russet
Brown



Description:
Resilience®
Exterior Acrylic
Latex Flat Extra
White

Color:
7743 - Mountain
Road



Description:
Resilience®
Exterior Acrylic
Latex Gloss Extra
White

Color:
7532 - Urban Putty



Description:
Resilience®
Exterior Acrylic
Latex Flat Extra
White

Color:
7745 - Muddled
Basil



Description:
Resilience®
Exterior Acrylic
Latex Flat Extra
White

Color:
3034 - Cedar



Description:
Resilience®
Exterior Acrylic
Latex Flat Extra
White

Color:
2802 - Rookwood
Red



Description:
Resilience®
Exterior Acrylic
Latex Flat Extra
White

Color:
7625 - Mount Etna

James Hardie color examples

Colors shown may vary due to screen resolution. Please see actual product sample for true color.

Light Mist



Boothbay Blue



Navajo Beige



Monterrey Taupe



Timber Bark



Evening Blue

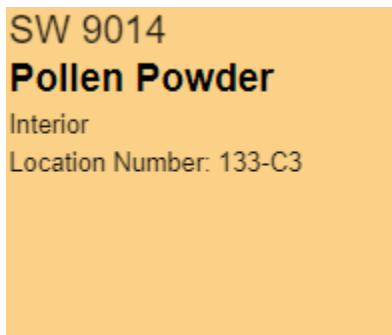


Cobblestone



Sherwin-Williams front door color examples (in addition to white)

Due to screen and print limitations, colors seen here may not accurately reflect painted colors. To confirm your color choices, visit your neighborhood Sherwin-Williams store. The store located at 495A Elden Street in Herndon has our color palette on file.



Roofs, Gutters and Downspouts

Permitted styles of roof shingles are architectural or traditional three tab. Approved roof shingle colors are as follows:

GAF Royal Sovereign
Autumn Brown



Golden Cedar



Slate



Certainteed Landmark
Resawn Shake



Burnt Sienna



Colonial Slate



Certainteed Traditional
Oakwood



Timberblend



Gutters and Downspouts shall be painted to match the approved trim color.

Doors

No application is required to replace existing front door or storm door with doors that match existing.

No application is required for front door color; homeowner must choose from approved paint color listed below

Application for RA staff review to change front door from one of the door styles listed below, same application form as for DRB panel review.

Application for DRB panel or consultation to change to front door or storm door that does not meet the requirements of these standards.

All Applications: One of the three signatures must be that of an elected cluster board member holding the office of President, Vice President, Secretary, or Treasurer.

Front Doors: Examples of images for approved door styles are included below. Doors may be wood, steel or fiberglass and any of the following styles:

1. Plain flat slab – no glass
2. Two, four or six panels – no glass
3. 6-Lite, 2-Panel Craftsman with Brickmold and Shelf
4. Craftsman Rectangle Lite with Leaded Glass
5. 4-Panel, Camber Lite
6. 4-Panel, Fan Lite
7. 3-Lite, Rain Glass, with Brickmold
8. 5-Lite, Clear Glass, with Brickmold

Glass must be clear not be colored and doors must be painted/stained in conformance with the RA DRB approved color palette for the Forest Edge Cluster. Many manufacturers such as Trimlite, JELD-WEN, Masonite, Feather River and other manufacturers can meet the specifications for these doors.

Color for sliding glass doors and windows: Match trim or be dark brown or white. Windows and sliding glass doors colors shall match.

Colors for front entry doors in addition to white (see Color Palette for examples):

Sherwin-Williams Cordial 6306 (Replaces Duron “Cherry Rose AC127N”)
Sherwin-Williams Dress Blues 9176 (Replaces Duron “Night Navy AC084N”)
Sherwin-Williams Blackberry 7577 (Replaces Duron “Plumberry AC137N”)
Sherwin-Williams Pollen Powder 9014 (Replaces Duron “Daisetta 7723M”)
Sherwin-Williams Honey Blush 6660 (Replaces Duron “Butter Pecan 7732W”)
Sherwin-Williams Fireweed 6328 (Replaces Duron “Redwood”)
Sherwin-Williams Concerto 6298 (Replaces Duron “Monterrey Rose 8395D”)
Sherwin-Williams Black Fox 7020 (Replaces Duron “Tudor House 8806N”)
Sherwin-Williams Brandywine 7710 (Replaces Duron “Roaring Hearth 7806N”)

Front door accessories:

- Overall size of nameplates shall not exceed 3” in height x 8” width.
- Door knockers shall not extend beyond the depth of the door frame when not in use.
- Any seasonal or holiday decorations shall be removed within a reasonable time in accordance with Reston Association covenants.

Front door glass surround at sloped roof houses: See Siding and Trim Standards.

Front Door colors are listed in the Color Palette section of this document.

Color for swing glass doors, installed in lieu of rear sliding doors, shall match trim or be dark brown or white. For 3-story houses having front door adjacent to glass doors, glass doors may be painted the same color as the front door.

Color for storm doors: Match color of front door behind it or match the trim.

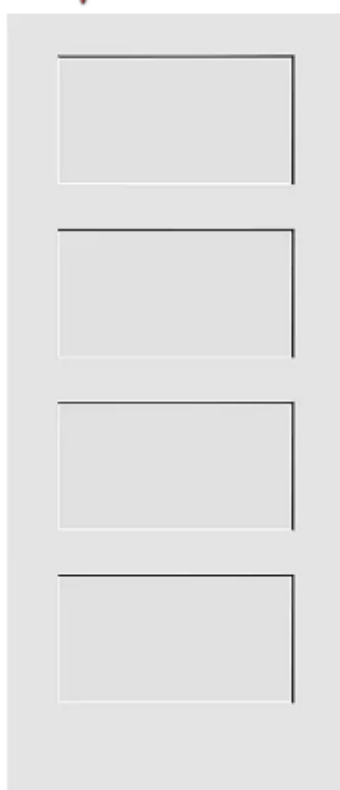
Rear door options:

- Sliding glass door with 3.5” or smaller trim width
- French doors; plain style with no grids; two matching swingers
- Atrium doors when the door and windows are the same width and height
- Full width patio doors with trimmed sidelights for those properties featuring two rear doorways
- Must be painted to match approved trim color

Example 1: Plain flat slab – no glass



Example 2: Two, four or six panels – no glass



Example 3: 6-Lite, 2-Panel Craftsman
with Brickmold and Shelf



Example 4: Craftsman Rectangle Lite with Leaded Glass



Example 5: 4-Panel, Camber Lite



Example 6: 4-Panel, Fan Lite



Example 7: 3-Lite, Rain Glass, with Brickmold



Example 8: 5-Lite, Clear Glass, with Brickmold



Windows

Application for RA staff review to replace windows with one of the manufacturers listed in this standard and provided that style, dimensions, function and design configuration matches existing; same application form as for DRB panel review.

Application for DRB panel or consultation to replace windows by other manufacturers than those listed in this standard. The application shall include name of manufacturer of proposed door(s) and description of style, dimensions, function and design configuration.

All Applications: One of the three signatures must be that of an elected cluster board member holding the office of President, Vice President, Secretary, or Treasurer.

General:

- At end units, all windows shall be replaced simultaneously to match in design and color. At interior units, all windows on a front elevation OR all windows on a rear elevation shall be replaced simultaneously to match in design and color. Sliding glass doors or swing glass doors on the same elevation shall also be replaced so that windows and doors all match in design and color. Also, see Color Palette page 2 for “Color for Swing Doors.”
- Replacement windows shall be produced to custom fit the existing opening.
- All replacement windows shall match the original in style, dimensions, function, and design configuration.
- All replacement windows shall be without muntins (grids).
- Trim capping around windows is permitted with the following specifications: must be vinyl or aluminum coil; must not exceed a maximum width of 4”; color should match the window or siding color

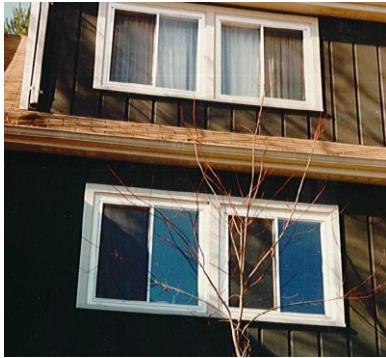
Manufacturers: The following window products are acceptable:

- Vytex Vinyl Replacement Windows, available in standard White or Beige, or in a range of customized exterior colors.
- Thompson Creek Vinyl Replacement Windows, available in white or beige, or in a range of customized exterior colors
- Traco Vinyl Replacement Windows, available in standard white or dark brown only Bryn Mawr III Vinyl Replacement Windows, available in white or almond only formerly offered by Certainteed, now by Metal Industries Windows & Doors)
- Andersen Woodwright Vinyl Clad Wood Replacement Windows, available in White, Sandtone or Terratone exterior colors, interior is wood in different finishes
- Identical products from other manufacturers may be permitted

Colors: Window color shall be painted or have factory finish to match existing trim or shall be white or dark brown. Windows and sliding glass doors colors shall match.

See below for images of front and rear window examples.

Front windows on sloped roof houses



Rear windows on sloped roof houses



Front windows on flat top houses



Rear windows on flat top houses



Side windows on end unit flat top houses



Fences

Application for RA staff review required for proposed fence or enclosure that meets all requirements of this standard; same application form as for DRB panel review.

Application for DRB panel or consultation required for front yard fences that do not meet all the requirements of the standard.

All Applications: One of the three signatures must be that of an elected cluster board member holding the office of President, Vice President, Secretary, or Treasurer.

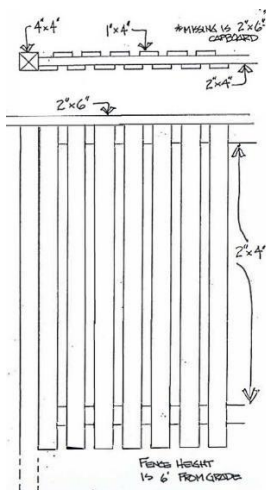
All existing fences not in conformance with the below must be brought into conformance upon substantive repair and/or replacement, or at the time of sale, whichever comes first.

For sloped roof houses (front fences and/or HVAC enclosures) and flat roof houses (front fences and/or HVAC enclosures and rear fences), if the siding is repainted, the fence must be repainted to match siding at the same time.

Design Option #1: Permitted for 2-story houses without basement and with entry on the first floor. Permitted for 2-story houses with basement and with entry on the middle floor. Permitted for 3-story house with entry on the middle floor.

- Vertical flat-topped 2 x 2 (1-1/2" x 1-1/2") pickets and 4 x 4 (3-1/2" x 3-1/2") posts, and without cap or bottom rail. Fence height is 4'.
- Fence sections shall be installed level, and stepped to follow grade as required, not sloped, with 12" maximum dimension from grade to bottom of pickets.
- Fence shall be painted to match siding.
- This design shall also be used as a stand-alone enclosure for HVAC units. Fence enclosure or fence and gate enclosure of all open sides of HVAC units is required if no front yard fence exists.
- No gates are permitted except at stand-alone HVAC enclosure; flat topped gates shall match fence in design and color.

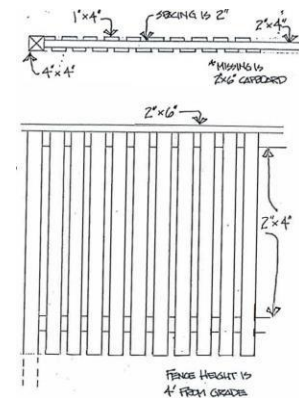
Example:



Design Option #2: Permitted for 3-story houses, with all three stories above grade, and with entry on the first floor.

- Vertical board-on-board, 4 feet high, consisting of 1 x 4's (3/4" x 3-1/2") with 2" space between boards on the outside, alternating 1 x 4's with 2" space between boards on the inside, and a 2 x 6 (1-1/2" x 5-1/2") cap board. Posts are 4 x 4's (3-1/2" x 3-1/2").
- Fence sections shall be installed level, and stepped to follow grade as required, not sloped, with 12" maximum dimension from grade to bottom of pickets.
- Fence shall be painted to match siding.
- This design shall also be used as a stand-alone enclosure for HVAC units. Fence enclosure or fence and gate enclosure of all open sides of HVAC units is required if no front yard fence exists.
- No gates are permitted except at stand-alone HVAC enclosure; flat-topped gate shall match fence design and color.

Example:



Design Option #3: Permitted for 3-story houses, with all three stories above grade, and with entry on the first floor.

- Vertical dry stack natural stone garden wall not to exceed 3 feet high.
- Stone may not be painted or stained and must be left to weather naturally. Clear, uncolored sealant is permitted.
- Wall shall be installed level, and stepped to follow grade as required, not sloped, with 12" maximum dimension from grade to bottom of wall.
- Top of wall may not be unfinished and shall be capped with natural stone of similar color.
- Color of stone used must be in the gray or slate family of colors.

FRONT YARD SCREEN AT FLAT-ROOF HOUSES ONLY

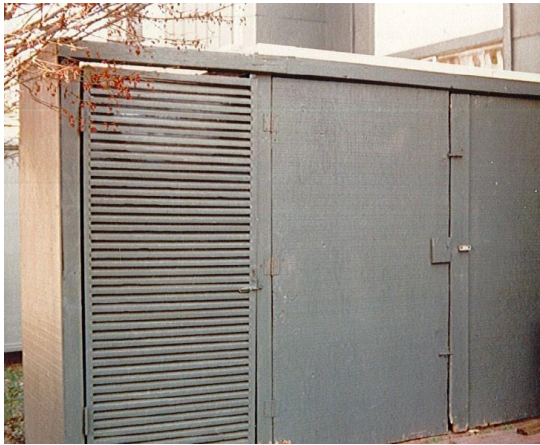
Application for RA staff review: None.

Application for DRB panel or consultation: None.

Design:

- Because the front yard screen / enclosure is such an important part of the existing house design, no modifications to existing are permitted.
- The fence / enclosure shall be painted to match siding.

Example:



REAR YARD FENCES AT SLOPED-ROOF HOUSES

Application for RA staff review: None.

Application for DRB panel or consultation: required for rear yard fences and gates

Design:

- Vertical board-on-board, 6 feet high, consisting of 1 x 4's (3/4" x 3-1/2") with 2" space between boards on the outside, alternating 1 x 4's with 2" space between boards on the inside, and a 2 x 6 (1-1/2" x 5-1/2") cap board. Posts are 4 x 4's (3-1/2" x 3-1/2"). Fence sections shall be installed level, and stepped to follow grade as required, not sloped, with 12" maximum dimension from grade to bottom of pickets.
- Vertical board gate shall be flat-topped to match fence height.
- Fence finish shall be natural or sealed with a clear sealer. Existing painted fence may be repainted to match existing approved color.

REAR YARD FENCES AT FLAT ROOF HOUSES / OPTION #1

Application for RA staff review: None.

Application for DRB panel or consultation: required for rear yard fences and gates.

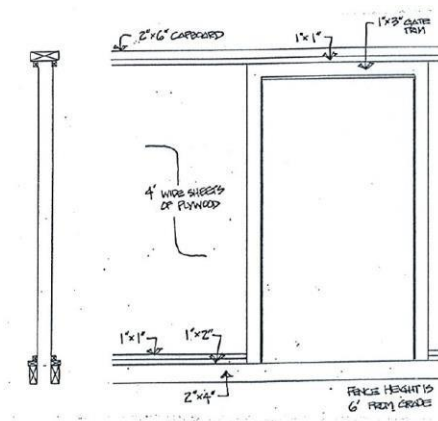
Design Option #1:

- Vertical board-on-board, 6 feet high, consisting of 1 x 4's (3/4" x 3-1/2") with 2" space between boards on the outside, alternating 1 x 4's with 2" space between boards on the inside, and a 2 x 6 (1-1/2" x 5-1/2") cap board. Posts are 4 x 4's (3-1/2" x 3-1/2"). Fence sections shall be installed level, and stepped to follow grade as required, not sloped, with 12" maximum dimension from grade to bottom of pickets.
- Vertical board gate shall be flat-topped to match fence height.
- Fence finish shall be painted to match siding.

Design Option #2:

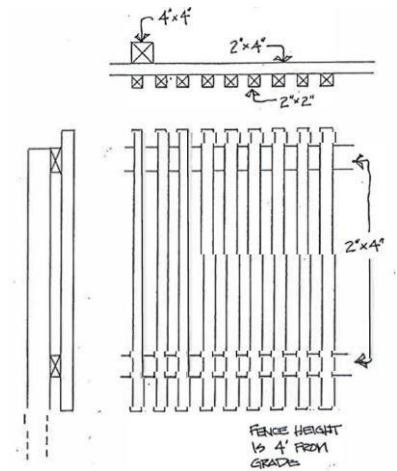
- Constructed of 4' wide solid plywood panels, 6 feet high. Top rail is 2 x 6 (1-1/2" x 5-1/2") cap board with 1 x 1 detail. Bottom rail is 2 x 4 (1-1/2" x 3-1/2") board with 1 x 1 and 1 x 2 detail.
- Gate is flat topped to match fence design and height, with 1 x 3 trim.
- Fence sections shall be installed level, and stepped to follow grade as required, not sloped, with 12" maximum dimension from grade to bottom of pickets.
- Fence shall be painted to match siding.

Flat top rear fence example:



Color for fences: Front fences and/or HVAC enclosure fences: Paint to match the siding color. Rear yard fences: At flat-roofed houses the rear fence color shall be painted to match the siding color. At sloped-roof houses all newly installed fencing shall be natural or have a clear sealer. At sloped-roof houses, previously painted fences may be repainted the same color Sherwin-Williams Autumnal SW6361 (Replaces Duron “Canyon Wall 7775D”).

HVAC enclosure fence example for sloped roof houses:



Decks

Application for RA staff review: None

Application for DRB panel or consultation: to construct an upper-level deck. Include information on materials and colors, along with sketches showing overall dimensions and railing details. Awnings at upper-level decks require DRB panel or consultation review.

All Applications: One of the three signatures must be that of an elected cluster board member holding the office of President, Vice President, Secretary, or Treasurer.

Size and shape:

- Extension from back wall of house shall not conflict with location of property line or with neighbor privacy.
- Corners may be squared or angled at 45 degrees.
- Side edges of deck shall be set in 2 feet minimum from common property line.
- End unit houses may have a wraparound or L-shaped deck on the side of the house as part of a rear deck on the back. End-unit side decks, including stairs, may not extend past the middle of the home. Homeowners must submit an application for Design Review Board review for end-unit wrap-around or L-shaped decks.

Construction:

- Decks shall have preservative treated wood structural members. Decking planks may be preservative treated wood planks or composite, integral-color planks.
- Railing pickets/balusters: preservative treated 2 x 2 (1-1/2"x1-1/2") vertical wood Pickets or aluminum, 3/4" round, vertical balusters with black finish (such as "Classic Balusters" by Deckorators).
- Top rail: preservative treated wood or integral-color composite material. Top rail may be supported by preservative treated wood posts, as needed.
- Built-in benches may be backless benches, located behind the railing without changing appearance of the railing.
- Privacy screens are not permitted

Finishes:

- Wood components: Unfinished to be naturally weathered or sealed with a clear sealant.
- Railings and/or fascias: Wood railings may be unfinished to be naturally weathered, sealed with a clear sealant or painted/stained to match existing siding that is of an approved color from the Color Palette section of cluster design standards. Railings may also be aluminum 3/4" round vertical balusters with black finish as listed in the Construction section.
- Composite components: Colors of composite components must be of natural wood or light gray families of color. Approved Trex colors are Saddle, Beach Dune, Tiki Torch, Pebble Gray, Foggy Wharf or Gravel Path. Similar shades or colors from Trex or other composite brand manufacturers may be permitted with approval from cluster board of directors and Reston Association Design Review Board.

View examples of DRB approved rear decks: 1403, 1405, 1435, 1437, 1443 Greenmont Court and 11110 Forest Edge Drive.

Awnings: Awnings shall be centered and be no wider than rear deck. Hardware shall be fully retractable, hand crank or motorized, with no support arms. Color shall be neutral, with simple front edge.

EXAMPLES OF APPROVED TREX COLORS:

Saddle



Pebble Grey



Beach Dune



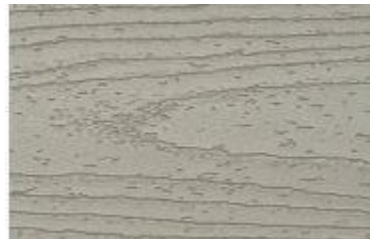
Foggy Wharf



Tiki Torch



Gravel Path



Lights

No application: is required. However, light fixtures that do not meet the requirements of this standard may be subject to citation during any mandated RA inspections.

Front Door Decorative Lighting: Front decorative lighting is located on the exterior wall near the front entry door. All single bulb exterior decorative lighting fixtures are permitted and must comply with the following restrictions:

- The body of the fixture shall not exceed 12" in height, 10" in depth and shall not protrude more than 12" from the wall.
- The fixture's finish must be white, black or metallic.
- Flood and spotlights, as well as industrial style fixtures and flush mounted "bulkhead" style are not acceptable in this location.

Sloped roof houses only:



Flat top houses only:



Rear Door Decorative Lighting: Rear decorative lighting is located on the exterior wall between double rear entries or near single rear entries opening onto patio and deck levels. All single bulb exterior decorative lighting fixtures are permitted and must comply with the following restrictions:

- The body of the fixture shall not exceed 12" in height, 10" in depth and shall not protrude more than 12" from the wall.
- The fixture's finish must be white, black or metallic.
- Flood and spotlights, as well as industrial style fixtures are not acceptable in this location.
- Flush mounted "bulkhead" style is permitted at the rear only.

At 3-story home models: where a decorative light fixture at a front door and a decorative light fixture at a glass door are in proximity to one another, the fixtures shall match in design and finish.

Security Lighting: Security lights must be shielded, mounted up tight under the eaves, and directed downward. Light bulb must be single incandescent.

Sloped roof houses only:



Flat top houses only:



Address Numbers and Mailboxes

ADDRESS NUMBERS

No application is required. However, address displays that do not meet the requirements of this standard may be subject to citation during any mandated RA inspections.

Address Displays:

- Square number plaques, in size and color to match existing original cluster design showing final two digits of property address are permitted.
- Individual numbers, wall mounted, 6" high maximum, spaced 2" apart maximum, in black, white or metallic finishes. Numbers may be displayed in horizontal, diagonal or vertical row.
- Painted or ceramic decorative panels with house numbers are permitted provided the panel is not more than 8" in height. Panels may have dark colored numbers on a light background or light-colored numbers on a dark background.

Examples:



MAILBOXES

No application is required.

Recommended Size and Finish:

- Horizontal style mailbox size shall not exceed 17" wide x 10" high and shall not project more than 6" from the wall. Color shall be black or metallic finish or shall match trim.
- Vertical style mailbox shall not exceed 10" wide x 15" high and shall not project more than 6" from the wall.
- Finish shall be black or match house trim or may be factory-finish metallic.

Examples:



Signs

No application for signs that meet the following standards.

Cluster-Specific Restrictions, additional to DRB guidelines:

- Signs may be located on private or cluster property for the purpose of identifying contractor performing work in the cluster; of promoting political campaigns or of promoting the sale or renting of property.
- Maximum size for these signs shall be four (4) square feet.
- Signs shall not be lighted.
- Contractor signs: Tenure of two (2) weeks after completion of work
- Political signs: Tenure of five (5) days after relevant election
- For Sale/Rent signs: Signs shall be removed upon completion of the transaction.

Awnings

Application for RA staff review is required for any awning installation.

All Applications: One of the three signatures must be that of an elected cluster board member holding the office of President, Vice President, Secretary, or Treasurer.

General:

- Awnings are only permitted on the rear elevation of the home. They may be installed on the lower-level (for 3-story homes) or mid-level, as long as they are located in the rear.
- Fabric may be solid or striped (perpendicular to wall) only, no other patterns or lettering permitted.
- Awnings must be retractable or removable; they may be motorized, or hand-cranked. Edges may be straight or scalloped. While awning is retracted, only the valence should show).
- All replacement windows shall match the original in style, dimensions, function, and design configuration.
- When retracted, the awning must be no more than 12" high and 12" deep. When extended, the awning must be no wider than the deck or patio it covers, and no closer than 2' to any property.
- When the awning is removed, the frame system must also be removed, and the siding seamlessly restored to its original condition.

Electric Vehicle Charging Stations (EVCS)

Application for DRB panel or consultation is required for all installations. Since all the spaces are owned by the association and are assigned – the cluster will be required to submit a joint application (along with the member).

All Applications: One of the three signatures must be that of an elected cluster board member holding the office of President, Vice President, Secretary, or Treasurer. No EV Charger may be installed or replaced without the approval of the board members. No EV Charger may be installed until the homeowner/s have executed the Association-approved EV Charger License Agreement and such Agreement has been signed by the Board.

Size

Must be an appropriate size for its residential context as deemed by the DRB; however, the station may not exceed 3 feet in height.

Location

Installation is limited to cluster property in an owner's reserved parking area and is not permitted to impede a walking surface or roadway. All disturbed areas must be restored to original condition.

Unit material and color

Durable materials such as composite, shatterproof glass, or metal can be used. Outlet connectors will be reviewed on a case-by-case basis. Wall mounted units are not permitted.

Pedestal material and color

Durable materials such as aluminum, steel, or composite can be used. Wooden pedestals are not permitted. The EV Charger/pedestal must have a means to neatly maintain the charging cord. No additional outlet or other electrical fixtures may be attached to the EV Charger or pedestal. Color of pedestal must be white, gray, or black and must be included in application.

Appearance

Modifications must be either reversible or permanently and seamlessly integrated into its immediate surroundings.

Installation

The EV charger must installed by a licensed electrician and must comply with all local and state rules and regulations/codes. The EV Charger and Pedestal must be rated NEMA 4 or greater for outdoor installation.

Charging levels

Only Level 1 and 2 charging stations are permitted.

Permit

All permits and proper easement/access must be gained prior to installation (to include boring under sidewalks and electrical permitting).

Cables/Cords

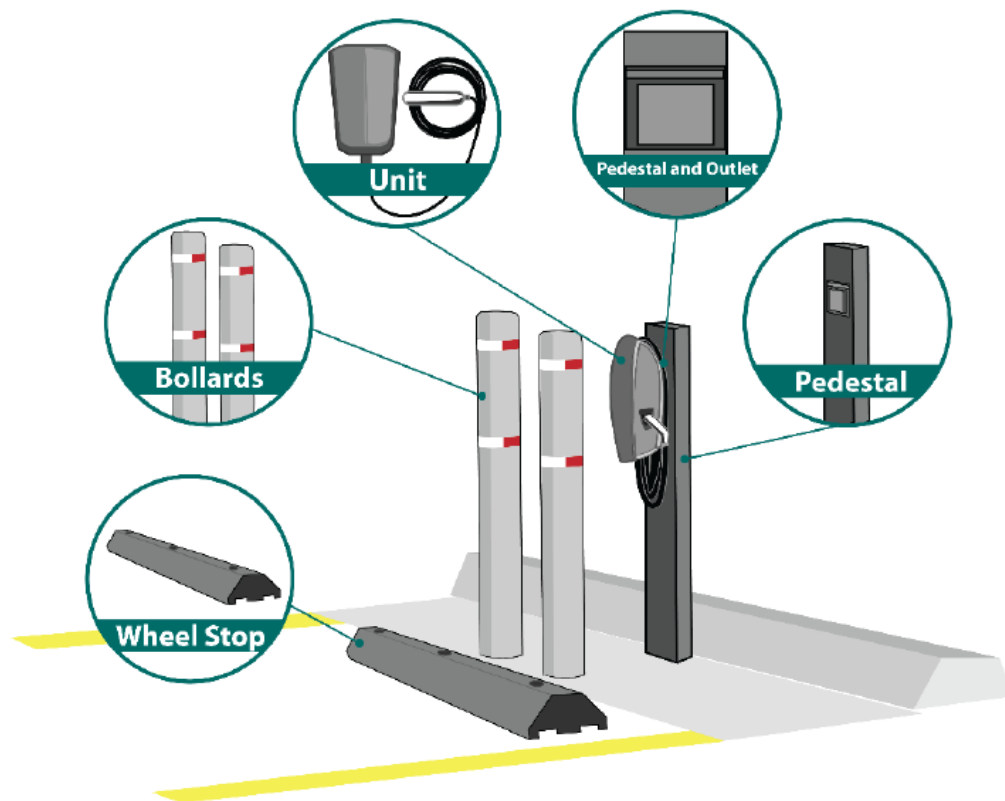
Cables/cords are not permitted to extend over or into paths for foot traffic. This includes sidewalks. Wiring must be buried and bored underneath sidewalks, and the area of disturbance restored to its natural condition. All wiring at the outlet must be run inside the post.

Use wheel stops and bollards

The use of wheel stops is required and must fit with the aesthetic of the area they are installed. Wheel stops must be black or gray which blends with the ground. Use of natural eco-friendly materials is encouraged. The use of bollards is not permitted.

Removal

Property owner will be responsible for removal of outlet in the event of sale unless new owner submits an updated DRB form for conveyance. If a station is removed, the area must be restored to its original condition.



Questions? Call Covenants Administration: (703) 435-6530

EV CHARGER LICENSE AGREEMENT

This Agreement is between Forest Edge Cluster Association (“Association”) and _____ (list all owners of record) (collectively, “Owner”), Owner of _____ (Property Address) (“Lot”).

1. The Association is the owner of record and responsible, thorough its Board of Directors, for the administration of certain Common Area parcels (the “Common Area”) located within the real property constituting the Association as established by a certain Deed of Resubdivision recorded among the land records of Fairfax County, Virginia.

2. The Association’s Board of Directors is empowered to manage and control the Common Areas, which include the common area parking spaces and adjacent sidewalks.

3. The Owner wants to install an Electric Vehicle Charging Station (“EVCS”) on the Common Area parking space assigned to the Owner, Parking Space # _____ (“Parking Space”) and as described on Exhibit A.

4. Association hereby agrees to permit the Owner, for such time as Owner is the record owner of the Lot, to install the EVCS in the Common Area adjacent to the Parking Space subject to the Owner’s compliance with and on condition with satisfying all of the following terms and conditions:

- (a) Owner shall provide evidence regarding the make and model of the EVCS which affirms that it is rated for exterior use as intended and shall follow any and all manufacturer’s recommendations regarding the same and the specifications in Exhibit A.
- (b) Owner shall install, operate and maintain the EVCS pursuant to the guidelines in Exhibit A and any other requirements imposed from time to time by the Association and the manufacturer of the EVCS.
- (c) The EVCS itself and the construction, installation and operation of the EVCS shall fully conform to and comply with to all local, state, and federal laws, ordinances, and regulations.
- (d) The Owner will, prior to installing the EVCS, apply for and obtain approval of the same from the Reston Association.
- (e) Owner will ensure that the EVCS draws all necessary power solely from the Lot and will be solely responsible for all costs and fees associated with its operation.
- (f) Owner acknowledges that use of the Common Area is subject to all of the terms and conditions set forth in the Association’s Deed of Resubdivision, Bylaws and rules and regulations and that no ownership interest in the Common Area in favor of the Owner is hereby, or in the future, intended, conveyed, or inferred by this Agreement.
- (g) The Association has the right to require the Owner to remove the EVCS at Owner’s sole cost and expense at any time should the Owner fail to comply with the terms and conditions of this Agreement or if the EVCS is found to constitute an unreasonable safety threat. If Owner fails

to remove the EVCS upon the Association's demand, the Association shall have the right to take legal action to compel removal and/or unilaterally remove the EVCS and assess the Owner all of the fees and costs associated with the same, including any restoration required of the Common Area. Such fees and costs shall be collectible in the same manner as assessments and Owner shall be responsible for all legal fees and costs incurred.

(h) When not in use, all plugs, cords, cables, etc., shall be neatly stored in such a manner that they create no hazard or eyesore.

(i) Owner agrees to indemnify and hold harmless the Association and its directors, officers, employees, and agents from and against any and all claims, suits, damages, or expenses (including attorneys' fees) arising from or in any way related to the installation, maintenance, operation, or use of the EVCS, including but not limited to, any injuries associated with the same. Owner agrees that neither the Association or any of its agents or contractors shall be liable for any damages to the EVCS that may accidentally occur as a result of maintenance, repairs or other work in the Common Areas.

(j) Owner agrees to obtain, and at all times maintain, a liability insurance policy, including the Association as a named insured on such policy, covering claims and defenses of claims related to the installation, maintenance, operation, or use of the EVCS. The aforementioned policy shall be purchased from a reputable insurance provider licensed to do business in Virginia and shall be in an amount no less than \$1,000,000. Proof of such coverage shall be provided within fourteen (14) days of the date this agreement is signed and is a condition precedent for proceeding with installation.

(k) If the installation, maintenance, operation, or use of the EVCS or the EVCS itself causes any damage to the Common Area or other parking spaces or vehicles, Owner shall promptly repair such damages or shall promptly reimburse the Association for the repairs, as the case may be. Such fees and costs shall be collectible in the same manner as assessments and Owner shall be responsible for all legal fees and costs incurred.

(l) Owner agrees to remove, at Owner's sole cost and expense, the EVCS and restore the impacted area to the satisfaction of the Board of Directors upon resale of the Lot or termination of this Agreement, unless the party taking title to the Lot assumes responsibility for the EVCS by signing a new Agreement.

Owner may not assign or otherwise transfer any of his or her rights or obligations under this Agreement without the prior authorization and express written consent of the Association.

5. The Association is entitled to enforce the terms of this Agreement, and the Association may assess any costs or fees (including attorneys' fees) incurred by the Association pursuant to the enforcement of this Agreement to Owner, even if no lawsuit is filed, which shall be collectible in the same manner as assessments.

6. The Association is not obligated, upon a breach of this Agreement by Owner, to take enforcement action. Any forbearance by the Association to enforce this Agreement shall not constitute a waiver of the Association's right to enforce it in the future.

SEEN AND AGREED TO:

Owner Signature

Printed Name

Owner Signature

Printed Name

Subscribed, acknowledged and sworn to by _____ before me, the undersigned Notary Public in and for the County of _____, in the State of _____, this _____ day of _____, 202____.

Notary Public

My Commission Expires: _____ My registration number: _____

Subscribed, acknowledged and sworn to by _____ before me, the undersigned Notary Public in and for the County of _____, in the State of _____, this _____ day of _____, 202____.

Notary Public

My Commission Expires: _____ My registration number: _____

SEEN AND AGREED TO:

Forest Edge Cluster Association

By: _____
President

Subscribed, acknowledged and sworn to by _____ before me, the undersigned Notary Public in and for the County of _____, in the State of _____, this _____ day of _____, 202____.

Notary Public

My Commission Expires: _____ My registration number: _____

EXHIBIT A

(To be completed/provided by Owner requesting the charging stations installation - Owner should reference the Cluster Rules and Regulations for details, specifications, and requirements)

General Photographs – Cluster Common

Informational signage:

- (3, approx. 18" W x 16.5" H, "SLOW DOWN KIDS AND PETS AT PLAY")
- To include rectangular graphic with dog and person, single-faced, aluminum, reflective surface, lettering color: cream white, background color: burgundy, border color: cream white, rectangular graphic, color: black, background color: yellow, border color: black)
- Mounted as follows: 1- on approx. 36" H x 4" W post, pressure treated wood, color: left to weather, 2- on existing signage posts, approx. 36" H, color: left to weather.



Cluster light poles



Handrails:

- 2, 36" H, free standing, steel, mounted right-side of existing steps, color "black"
- Rail #1 (approx. 41' L, across from 1416 Greenmont Court)
- Rail #2 (approx. 36.5' L, behind 1140 Forest Edge Dr & 1458 Greenmont Court)



8/15/2019

2nd photo of walkway next to 1416 Greenmont Ct.



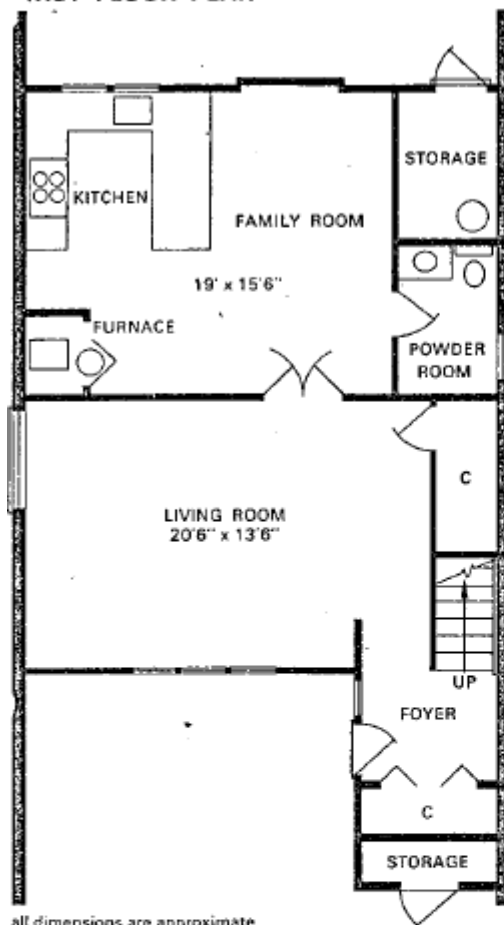
Location of handrail (not to scale)

#2

Sidewalk that connects
Greenmont Ct. & Forest Edge
Sidewalk is built between
backyards of 1458-1460 GC
& 1440 GC in a wooded
area

Floor plans

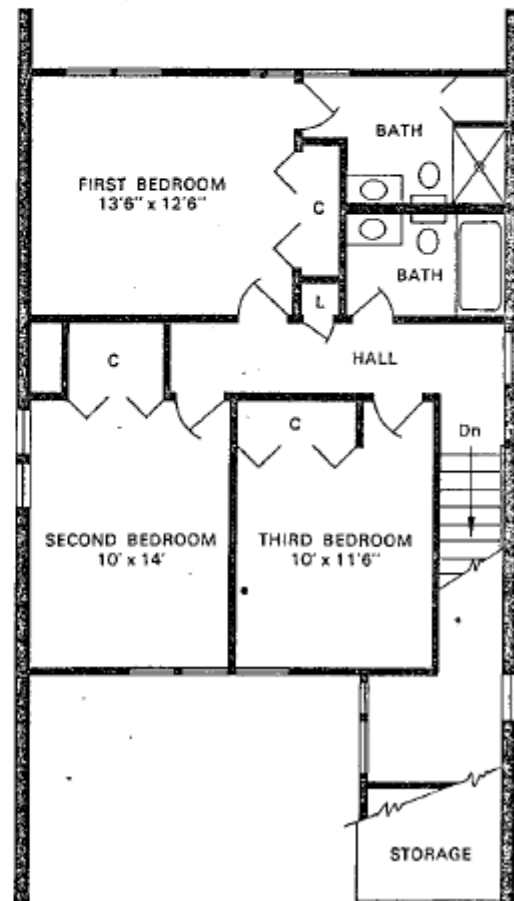
FIRST FLOOR PLAN



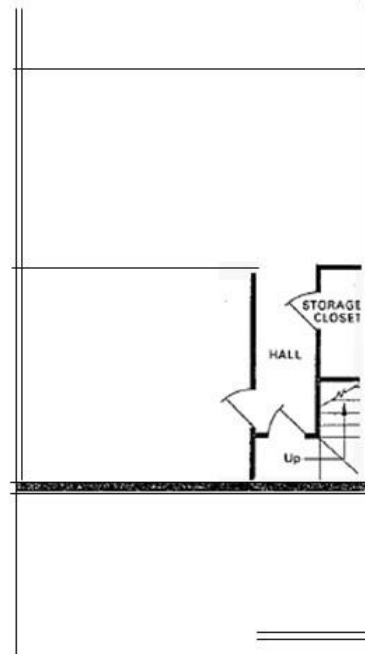
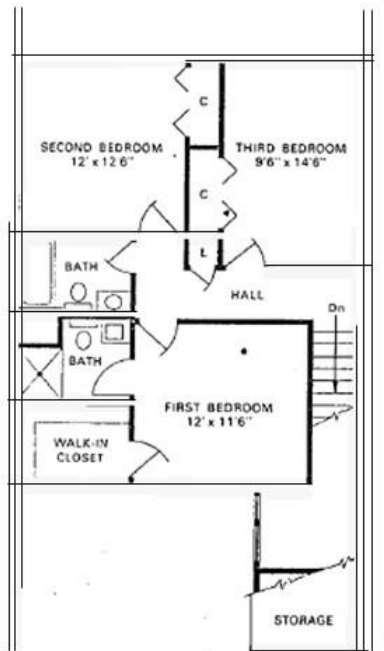
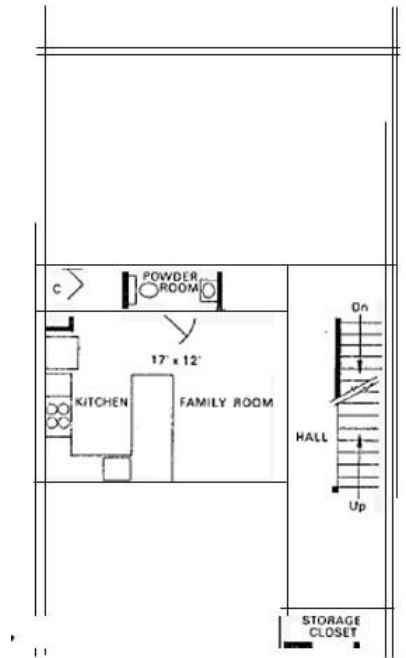
all dimensions are approximate

THE ASH

SECOND FLOOR PLAN

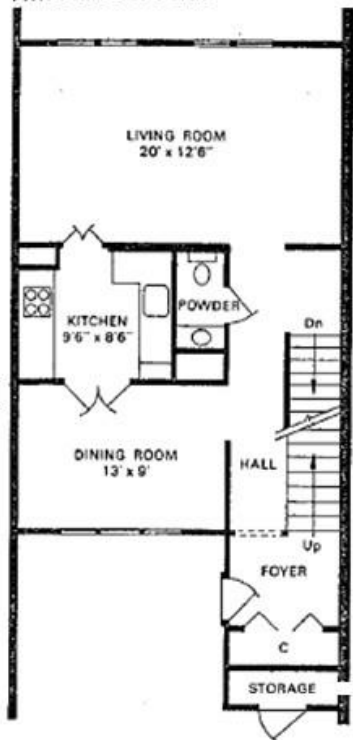


THE BIRCH



THE CEDAR

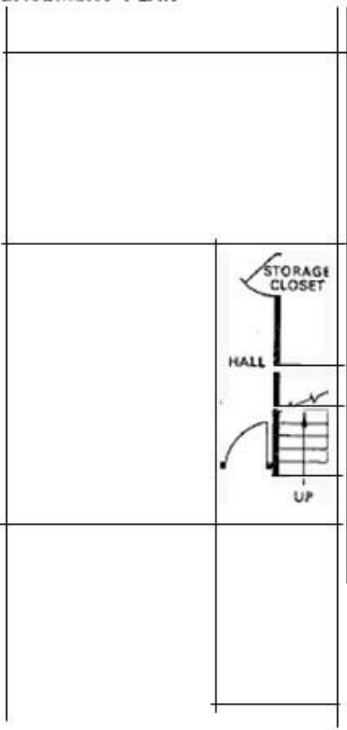
FIRST FLOOR PLAN



SECOND FLOOR PLAN



BASEMENT PLAN



THE DOGWOOD

